

CURRENT REVISION + NOTES

Date:	Description:	Issue:	Drawn:
27.07.23	ENERGY FINALISED	C	KS
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

S455 MODIFICATION NOTES

- SUB-DIVISION TYPE: TORRENS
- POSITION OF U1 AND U2 ON SITE
- U1 CLOSER TO PEPPER TREE
- U2 CLOSER TO KING VALLEY DRIVE
- CLADDING TO U1 FACADE CHANGE
- LEVELS OF U1 AND U2 ON SITE
- U1 LOWERED
- U2 RAISED

NEW DUAL OCCUPANCY (TORRENS)

CLIENT: SAVAGE

STATUS:S4.55 MODIFICATION

LOT No: 106

DP No: 1291002

STREET NAME: 7 PEPPER TREE WAY, TAREE

CWC JOB #: A5638

CONTENTS

SHEET #	SHEET NAME	REVISION
0	TITLE	F
1	LEGENDS	F
2	SITE PLAN	F
3	S68 & S138 PLAN	F
4	U1 FLOOR PLAN	F
5	U2 FLOOR PLAN	F
6	ELEVATIONS - U1	F
7	ELEVATIONS - U1	F
8	ELEVATIONS - U2	F
9	ELEVATIONS - U2	F
10	SECTIONS	F
11	ROOF PLAN	F

CONTENTS

SHEET #	SHEET NAME	REVISION
12	GLAZING - U1	F
13	GLAZING - U2	F
14	SET-OUT PLAN	F
15	INDICATIVE LANDSCAPE PLAN	F
16	RETAINING + SCREENING	F
17	DRAFT SUB-DIVISION PLAN	F
18	SHADOWS	F
19	CONSTRUCTION NOTES	F
20	BUILDING SPECIFICATIONS	F
21	WORK SAFETY NOTES	F
22	BUSHFIRE NOTES - GENERAL REQUIREMENTS	F
23	BUSHFIRE NOTES - ADDITIONAL REQUIREMENTS	F



GENERIC | TYPICAL KEY, LEGEND AND ABBREVIATIONS FOR COLLINS W COLLINS ARCHITECTURAL PLANS

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not limited to): *OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS. PLEASE USE THIS IN CONJUNCTION WITH ALL DRAWING SHEETS AND VIEWS CONTAINED FORTHWITH IN THIS PLAN SET.*

REVISED JANUARY 2023

SYMBOLS AND LINES

SITE PLAN | S68 S138 PLAN

	LOT BOUNDARY
	SEWER LINE
	STORMWATER LINE
	WATER CONNECTION LINE
	DOWNPIPE TO WATER TANK
	DOWNPIPE FROM TANK TO APPLIANCE
	SILTATION CONTROL FENCING
	SITE HOARDING FENCING
	BATTER EXTREMITIES LINE
	EASEMENT BOUNDARY
	OVERHEAD POWER LINES

FLOOR PLANS / SECTIONS (INCL SETOUT, ROOF, DETAIL CALL OUTS)

	OVERHEAD ITEM
	DEMOLITION LINE
	UPPER FLOOR OUTLINE
	ROOF OUTLINE OVER
	RAKED CEILING LINE
	BEAM LINE
	SQUARE SET OPENING
	TERMITE PROTECTION: TO AS 3660.1
	NATURAL GROUND LINE (EXCAVATED)
	COLUMN (MATERIAL AS PER SCHEDULE OR PLAN)
	MASONRY PIER (SIZE AS PER SCHEDULE OR PLAN)
	ENGAGED PIERS: TO COMPLY WITH AS 4773.1-2010 & AS 4773.2-2010
	INSULATION BATTING
	TO BE DEMOLISHED / REMOVED
	EARTH / SOIL

GENERAL SYMBOLS AND ARCHITECTURAL SYMBOLS

	NORTH
	WINDOW TAG (DA/CC)
	DOOR TAG (DA/CC)

	FALL OF BATTER SLOPE
	DRIVEWAY SURFACE
	GARDEN TAP
	WATER METER / ALTERNATE WATER METER
	SANDBAG
	TEMPORARY HOARDING GATES
	STREET TREE / SITE TREE
	LIGHT POLE
	POWER POLE

	FILL (TO ENGINEERS DETAIL)
	WET AREA TILED FLOOR SURFACE
	COMMON / OUTDOOR TILED FLOOR SURFACE
	BROOM FINISH CONCRETE FLOOR SURFACE
	MASONRY WALL
	CONCRETE
	TIMBER/METAL STUD FRAMED WALL
	CONCRETE BLOCK WALL
	MASONRY VENEER WALL
	METAL SHEET ROOFING
	KLIP-LOK (OR SIMILAR) METAL SHEET ROOFING
	TILED ROOF
	WAFFLE POD (TO ENGINEERS DETAIL)
	TACTILE GROUND SURFACE INDICATORS: TO AS 1428.4.1:2009
	STAIRS INCLUDING DIRECTION OF TRAVEL (UP)
	RAMP INCLUDING DIRECTION OF TRAVEL (UP)

	E.P.	ELECTRICAL CUBICLE / PIT
	NBN	NBN PIT
	T.PIT	TELECOMMUNICATIONS PIT
		TO BE DEMOLISHED / REMOVED
		DEMOLITION LINE

RENOVATION / DEMOLITION SYMBOLS

	TO BE DEMOLISHED OR REMOVED		TO BE DEMOLISHED OR REMOVED
	EXISTING ITEM / ELEMENT (FLOOR/WALLS/WINDOWS ETC)		EXISTING AREA / FACADE / ROOM
	PROPOSED NEW ITEM / ELEMENT		

MULTI STOREY SITE PLAN SYMBOLS / LEGEND

	LOWEST FLOOR (GROUND TYPICAL)
	MIDDLE FLOOR
	UPPER FLOOR

GENERAL ABBREVIATIONS

ARI	AVERAGE RECURRENCE INDEX	PB	PLASTER BOARD
AHD	AUSTRALIAN HEIGHT DATUM	RET. WALL	RETAINING WALL
CLT	CROSS LAMINATED TIMBER	RC	REINFORCED CONCRETE
COL.	COLUMN	PV	PHOTO VOLTAIC
COW	COST OF WORKS	RL	REDUCED LEVEL
DCP	DEVELOPMENT CONTROL PLAN	SB	SUB ELECTRICAL METER BOX
DEG.	DEGREES	SL	SURFACE LEVEL
DGPO	DOUBLE GENERAL POWER OUTLET	SW	STORM WATER
DH	DOUBLE HUNG WINDOW	TRH	TOILET ROLL HOLDER
DP	RAINWATER DOWNPIPE	T.O.K	TOP OF KERB
DTR	DOUBLE TOWEL RAIL	T.O.W	TOP OF WALL
HWS	HOT WATER SERVICE	WC	WATER CLOSET
FC	FIBRE CEMENT	1650B	BATH SIZING
F.S.L	FINISHED SURFACE LEVEL	900V	VANITY SIZING
F	FIXED GLASS / PANEL	820	INTERIOR DOOR SIZING
FG	FIXED GLASS WINDOW	LOH	LIFT OFF HINGE
GLT	GLUE LAMINATED TIMBER	LVL	LAMINATED VENEER LUMBER
GTAP	GARDEN TAP	MECH.	MECHANICAL
GPO	GENERAL POWER OUTLET	MB	ELECTRICAL METER BOX
GRG	GARAGE	MR	MOISTURE RESISTANT
HWS	HOT WATER SERVICE	MH	MAN HOLE
LEP	LOCAL ENVIRONMENT PLAN	NGL	NATURAL GROUND LINE

10 STAR BUILDING ASSESSMENTS

5.8

Minimum star rating

NATIONWIDE HOUSE ENERGY RATING

www.natbhq.gov.au

#HR-11N5GD-01 08/10/2024

Assessor: Adam Clarke  
Accreditation No. ABSA 101518  
Address: 7 PEPPER TREE WAY, TAREE, NSW, 2430

ABSA

Building Assessment

Assessment Number: 030502024-0309/0205  
Assessor Name: Adam Clarke  
Assessor Number: 101518

collinswcollins

Building Designers

Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

collinswcollins

Building Designers

89A Lord Street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

PROJECT: NEW DUAL OCCUPANCY (TORRENS)

STATUS: S4.55 MODIFICATION

LOT No: 106 DP No: 1291002

STREET: 7 PEPPER TREE WAY, TAREE

CLIENT: SAVAGE

SHEET: 1 OF 24

LEGENDS

SCALE: 1 : 100

SHEET SIZE: A3

START DATE: 09.01.2023

DWG No: A5638

DRAWING REVISION + NOTES

Date: 30.06.23

Revision: DRAFT DA

Issue: A

Drawn: KS

Date: 27.07.23

Revision: ENERGY FINALISED

Issue: C

Drawn: KS

Date: 17.08.23

Revision: ADD SHADOWS/UPDATE FENCE NOTE

Issue: D

Drawn: MH

Date: 09.10.23

Revision: DA RFI

Issue: E

Drawn: AE

Date: 30.09.24

Revision: DA MOD

Issue: F

Drawn: MS

WWW. COLLINSWCOLLINS.COM.AU

T: 02 6583 4411

SITE INFORMATION &  
LEGEND

SITE AREA: = 902.9m<sup>2</sup>  
OVERALL HABITABLE AREA =360.4m<sup>2</sup>  
(including garages/store)  
GROSS FLOOR AREA (as per LEP definition) =333.6m<sup>2</sup>  
FLOOR SPACE RATIO = 36.95% ; 0.37:1  
BUSHFIRE AFFECTED YES  
FLOOD AFFECTED NO  
APPROX HARDSTAND AREA =488<sup>2</sup>  
APPROX LANDSCAPED AREA =397m<sup>2</sup>

SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD

SITE HOARDING AND SECURITY FENCE

WATER MAINS (APPROX ONLY)

STORMWATER LINES (APPROX ONLY)

SEWER LINES (APPROX ONLY)

LINE OF EASEMENTS

PROPOSED GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)

LINE OF BATTER TO GROUND LEVELS (TO BE USED AS A GUIDE ONLY)

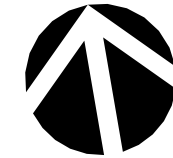
ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY LSW SURVEYORS REF# 7564 DATED 21/10/22. ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

S455 MODIFICATION NOTES

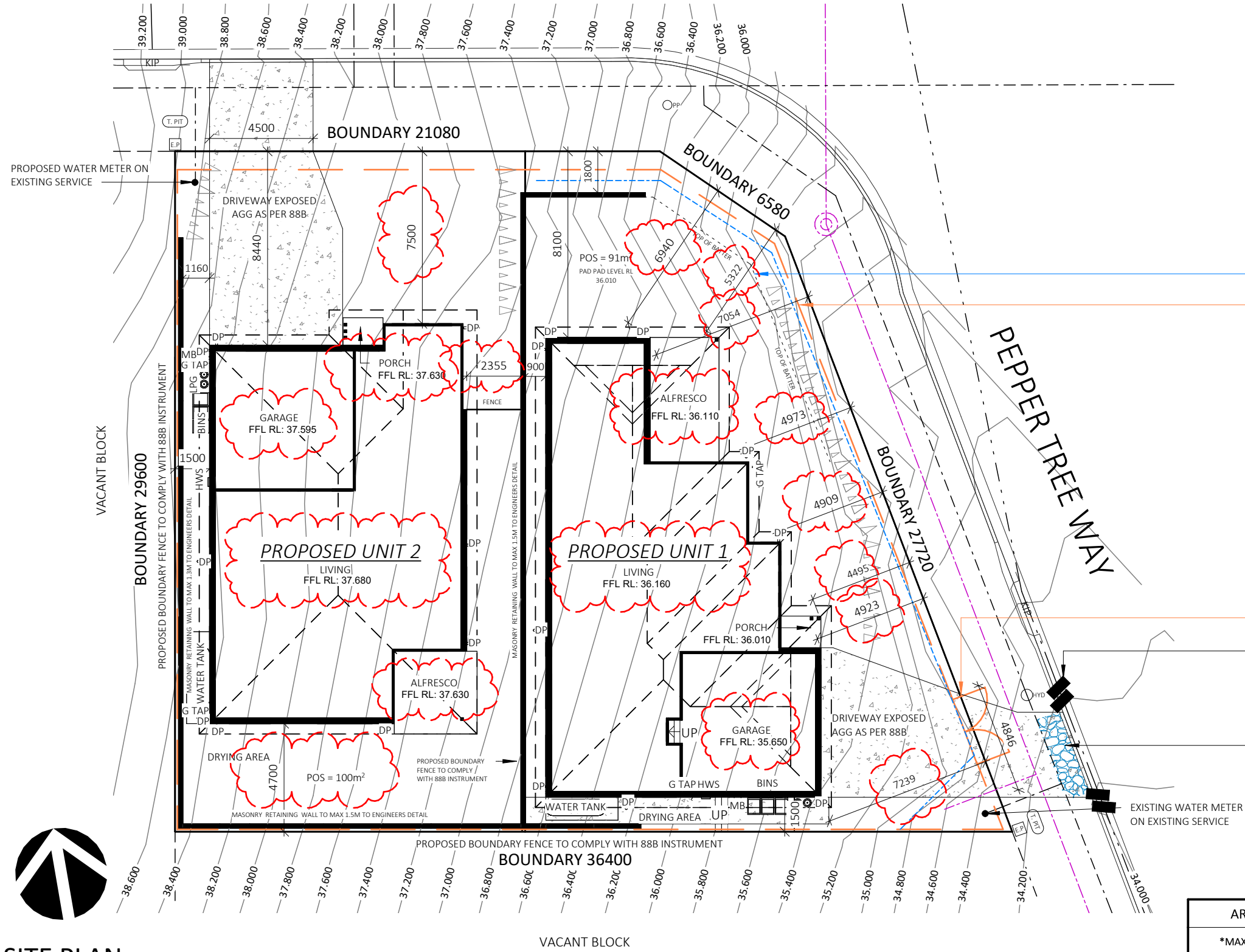
- SUB-DIVISION TYPE: TORRENS
- POSITION OF U1 AND U2 ON SITE
- U1 CLOSER TO PEPPER TREE
- U2 CLOSER TO KING VALLEY DRIVE
- CLADDING TO U1 FACADE CHANGE
- LEVELS OF U1 AND U2 ON SITE
- U1 LOWERED
- U2 RAISED

SITE PLAN

1 : 200



KING VALLEY DRIVE



BUILDER TO LOCATE THE ELECTRICAL AND TELSTRA SERVICES PRIOR TO THE START OF CONSTRUCTION

RETAINING WALL AND FOOTINGS WHOLLY INSIDE BOUNDARY

REFER TO ENGINEERS DETAILS FOR DRIVEWAY GRADIENT

ANY STOCKPILING OF SOILS ON SITE WILL NEED TO BE CONTROLLED FROM DUST BY WATERING OR COVERING AS REQUIRED TO PREVENT EROSION & DUST NUISANCE. HOSE TO BE AVAILABLE ON SITE.

SILTATION CONTROL FENCING

PROPOSED HOARDING AND SECURITY FENCE TO BE INSTALLED TO BOUNDARIES

TEMPORARY HOARDING GATES

SAND BAGS PLACED IN KERB TO CATCH ANY EXCESS SOILS FROM SITE KERB TO BE CLEANED DAILY

TEMPORARY BLUE METAL GRAVEL LAID AT ENTRANCE OF SITE TO REMOVE EXCESS SOILS FROM VEHICLES AT EXIT. AGGREGATE SIZE AS PER THE LANDCOM BLUE BOOK STANDARD DRAWING SD 6-14 IS TO BE 30mm DIAMETER

EXISTING WATER METER ON EXISTING SERVICE

AREAS - FLOOR SPACE RATIO (FSR)

\*MAX FSR AS PER GREATER TAREE LEP 2010 - 0.6:1

GFA	SITE AREA	FSR
333.6 m <sup>2</sup>	903 m <sup>2</sup>	36.95%

BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

BAL - 12.5



collinswcollins  
Building Designers

Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)

STATUS: S4.55 MODIFICATION  
LOT No: 106 DP No: 1291002  
STREET: 7 PEPPER TREE WAY, TAREE

CLIENT: SAVAGE

SITE PLAN

SCALE: 1 : 200  
SHEET SIZE: A3  
START DATE: 09.01.2023  
DWG No: A5638

DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS



## S68 & S138 INFO & LEGEND

STORMWATER/RAINWATER TO BE DIRECTED TO ON-SITE RAINWATER STORAGE TANKS WITH OVERFLOWS TO BE CONNECTED TO PROPOSED STORMWATER JUNCTIONS, CONNECT TO COUNCIL SERVICES

(SURFACE AND SUB-SURFACE STORMWATER TO BE DISPOSED OF VIA PIPEWORK IN ACCORDANCE WITH AS 3500)

	CATCHMENT OF ROOF AREA TO ON-SITE RAINWATER TANKS: U1 & U2 = 2,000L
	PROPOSED RAINWATER TANKS TO BE FILLED IN AS REQUIRED L MIN. AS PER BASIX REQUIREMENTS
	SILTATION CONTROL IN ACCORDANCE WITH COUNCIL POLICY E1 AND THE ADOPTED AUSPEC STANDARD
	SEWER LINE (TO BE USED AS A GUIDE ONLY)
	WATER FLOW FROM RAINWATER STORAGE TANKS TO APPLIANCES AND FIXTURES (TO BE USED AS A GUIDE ONLY)
	WATER FLOW FROM DOWNPIPES TO RAINWATER TANKS (TO BE USED AS A GUIDE ONLY)
	STORMWATER FLOW (TO BE USED AS A GUIDE ONLY)
	GARDEN TAP LOCATIONS (TO BE USED AS A GUIDE ONLY)
	DOWNPIPE LOCATIONS (TO BE USED AS A GUIDE ONLY)
	ALL LEVELS ARE TO AHD AS PER SURVEY PLAN PREPARED BY LSW SURVEYORS REF# 7564 DATED 21/10/22. ALL LEVELS AND CONTOURS ARE TO BE CONFIRMED BY BUILDER / SURVEYOR PRIOR TO START OF CONSTRUCTION.

## DRIVEWAY INFO

TO BE IN ACCORDANCE WITH SD0100

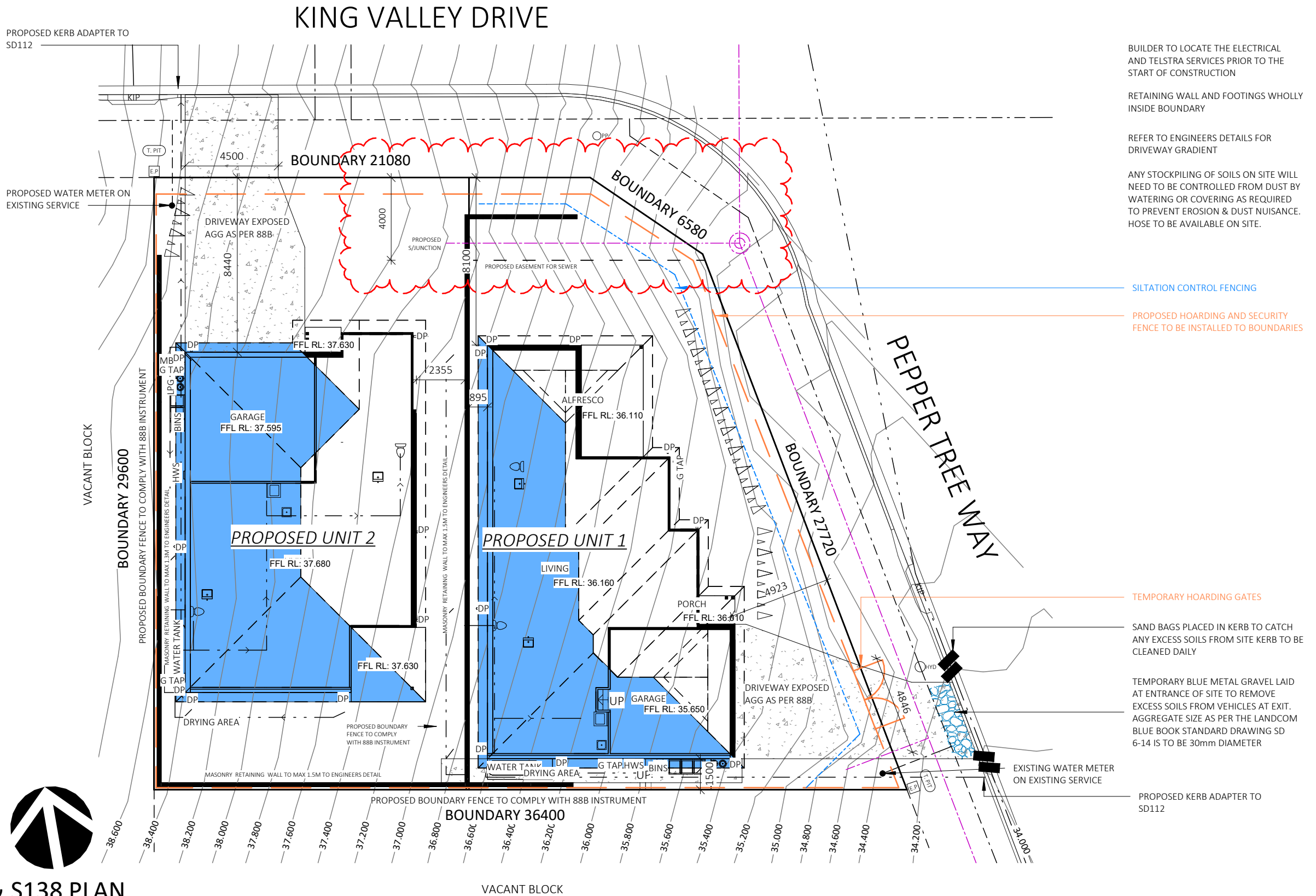
KERB & GUTTER INVERT LEVEL	U1: RL: 33.94 U2: RL: 38.22
GARAGE FFL	U1: RL: 35.650 U2: RL: 37.595
DISTANCE FROM KERB TO GARAGE	U1: 13082mm U2: 12956mm

\*REFER TO ENGINEERS DETAILS FOR DRIVEWAY GRADIENT  
GRADIENT OVER 500mm LONG SECTION REQUIRED BY ENG

AREAS - ROOF AREAS	
NAME	AREA
U1 ROOF	232.3 m²
U2 ROOF	217.1 m²
TOTAL	449.5 m²

## S68 & S138 PLAN

1 : 200



BUILDER TO LOCATE THE ELECTRICAL AND TELSTRA SERVICES PRIOR TO THE START OF CONSTRUCTION

RETAINING WALL AND FOOTINGS WHOLLY INSIDE BOUNDARY

REFER TO ENGINEERS DETAILS FOR DRIVEWAY GRADIENT

ANY STOCKPILING OF SOILS ON SITE WILL NEED TO BE CONTROLLED FROM DUST BY WATERING OR COVERING AS REQUIRED TO PREVENT EROSION & DUST NUISANCE. HOSE TO BE AVAILABLE ON SITE.

SILTATION CONTROL FENCING

PROPOSED HOARDING AND SECURITY FENCE TO BE INSTALLED TO BOUNDARIES

TEMPORARY HOARDING GATES

SAND BAGS PLACED IN KERB TO CATCH ANY EXCESS SOILS FROM SITE KERB TO BE CLEANED DAILY

TEMPORARY BLUE METAL GRAVEL LAID AT ENTRANCE OF SITE TO REMOVE EXCESS SOILS FROM VEHICLES AT EXIT. AGGREGATE SIZE AS PER THE LANDCOM BLUE BOOK STANDARD DRAWING SD 6-14 IS TO BE 30mm DIAMETER

EXISTING WATER METER ON EXISTING SERVICE

PROPOSED KERB ADAPTER TO SD112

### BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

### BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

### GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)	
STATUS: S4.55 MODIFICATION	SHEET: 3 OF 24
LOT No: 106 DP No: 1291002	
STREET: 7 PEPPER TREE WAY, TAREE	
CLIENT: SAVAGE	

S68 & S138 PLAN	
SCALE:	1 : 200
SHEET SIZE:	A3
START DATE:	09.01.2023
DWG No:	A5638

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

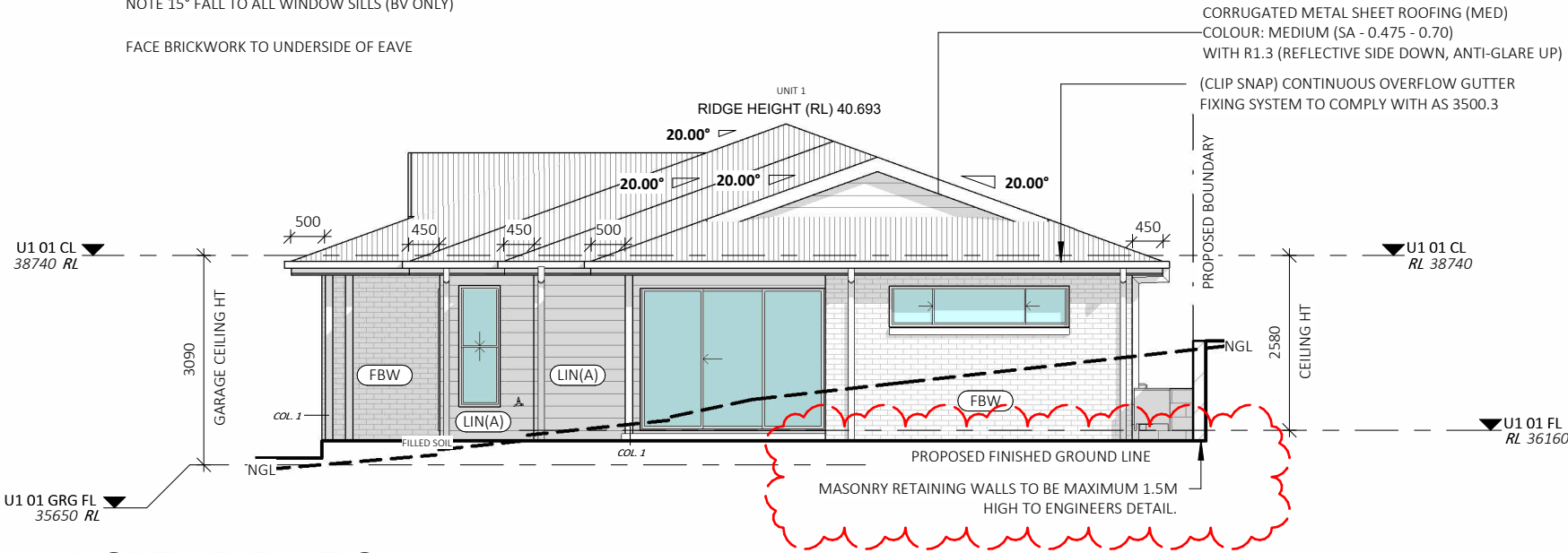
EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
FBW	SELECT FACE BRICKWORK
LIN(A)	SCYON LINEA 150mm WIDE HORIZONTAL CLADDING

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER COLUMNS ARE TO BE CONSTRUCTED FROM BUSHFIRE RESISTING TIMBER SPECIES AS PER AS3959, APPENDIX F

NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE

PROPOSED DUAL OCCUPANCY



U1 NORTH ELEVATION

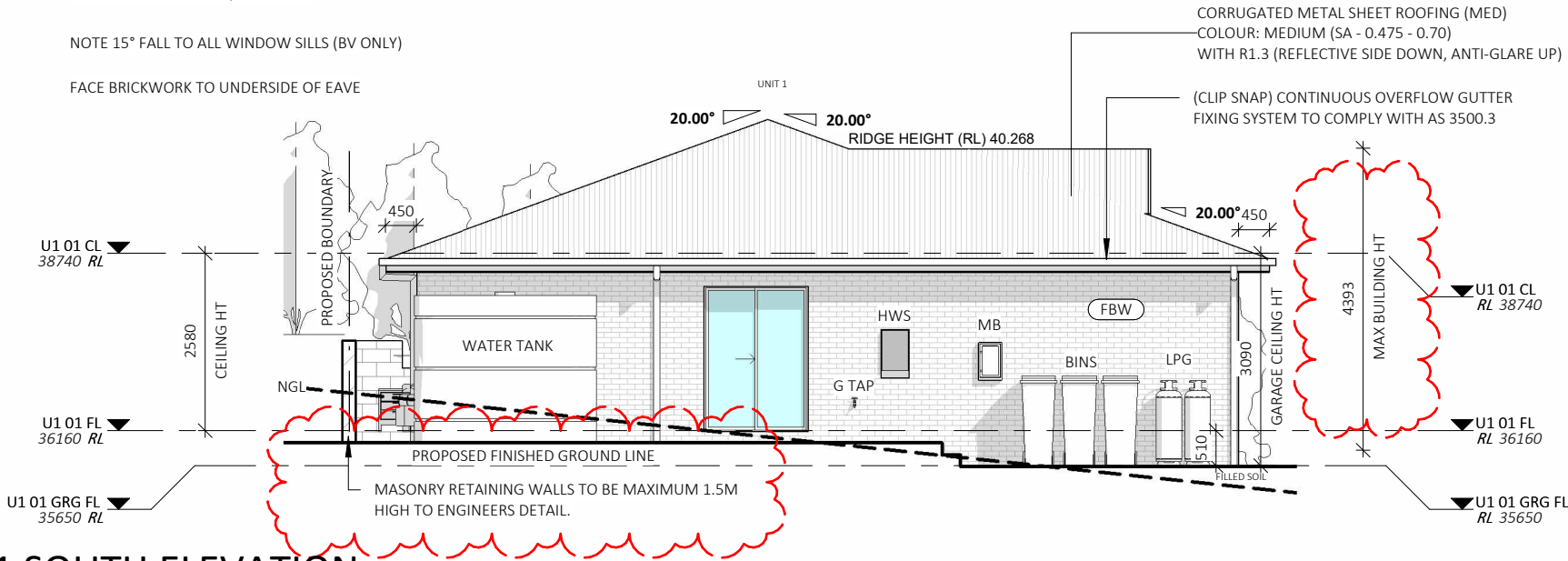
1 : 100

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER COLUMNS ARE TO BE CONSTRUCTED FROM BUSHFIRE RESISTING TIMBER SPECIES AS PER AS3959, APPENDIX F

NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE

PROPOSED DUAL OCCUPANCY



U1 SOUTH ELEVATION

1 : 100

BAL - 12.5

BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders. DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

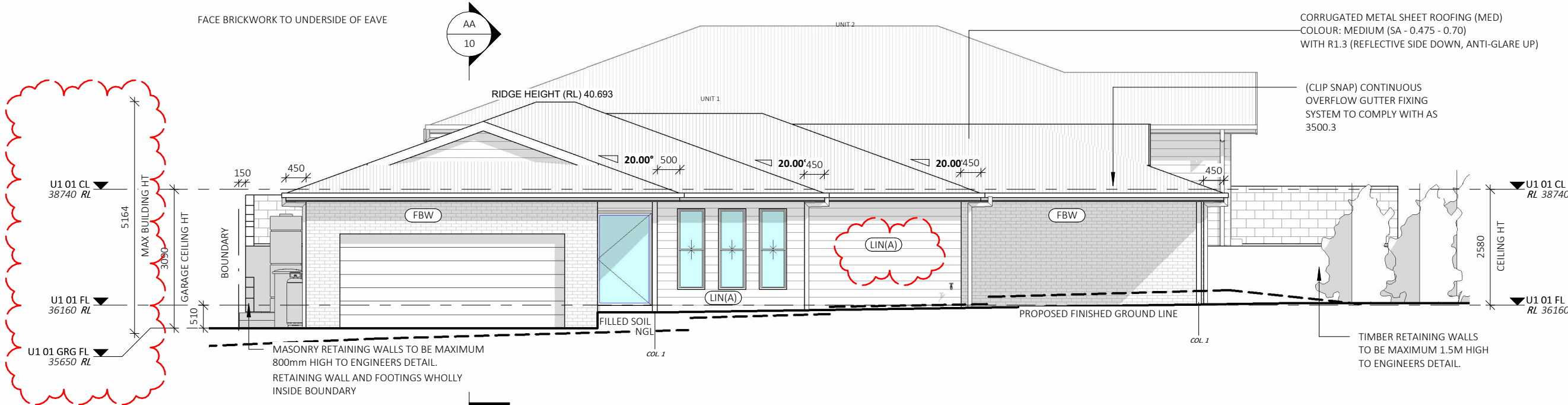
PROJECT: NEW DUAL OCCUPANCY (TORRENS)		ELEVATIONS - U1	
STATUS: S4.55 MODIFICATION	SHEET: 6 OF 24	SCALE:	1 : 100
LOT No: 106 DP No: 1291002		SHEET SIZE:	A3
STREET: 7 PEPPER TREE WAY, TAREE		START DATE:	09.01.2023
CLIENT: SAVAGE		DWG No:	A5638

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
FBW	SELECT FACE BRICKWORK
LIN(A)	SCYON LINEA 150mm WIDE HORIZONTAL CLADDING

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER COLUMNS ARE TO BE CONSTRUCTED FROM BUSHFIRE RESISTING TIMBER SPECIES AS PER AS3959, APPENDIX F  
NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE

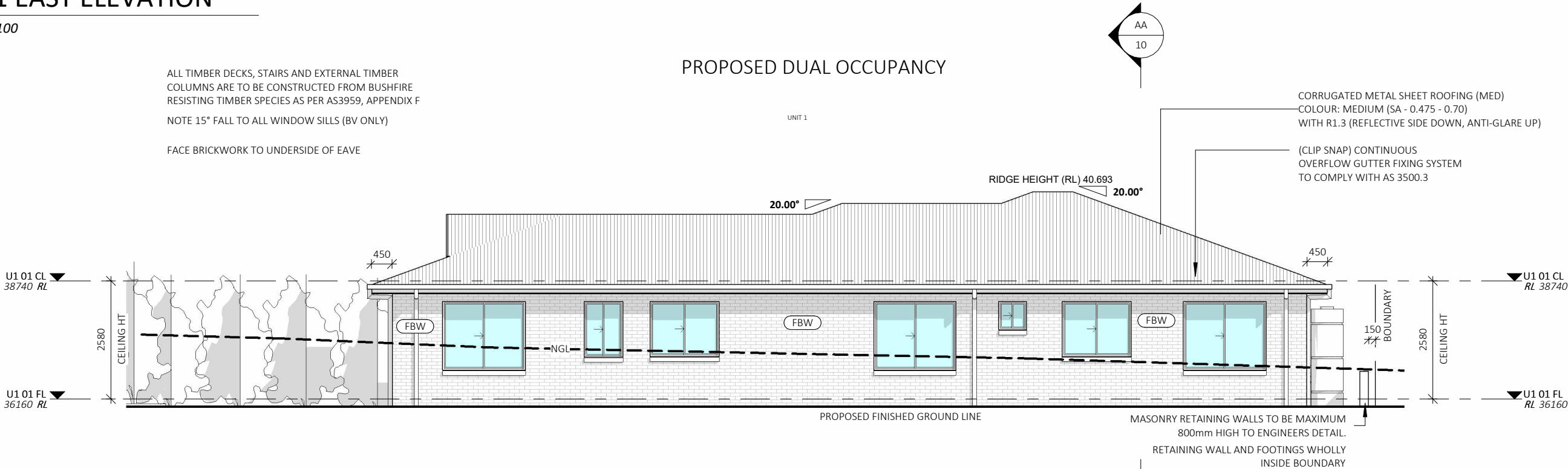


U1 EAST ELEVATION

1 : 100

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER COLUMNS ARE TO BE CONSTRUCTED FROM BUSHFIRE RESISTING TIMBER SPECIES AS PER AS3959, APPENDIX F  
NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE



U1 WEST ELEVATION

1 : 100

BAL - 12.5

BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)

STATUS: S4.55 MODIFICATION  
LOT No: 106 DP No: 1291002  
STREET: 7 PEPPER TREE WAY, TAREE

CLIENT: SAVAGE

ELEVATIONS - U1

SCALE: 1 : 100  
SHEET SIZE: A3  
START DATE: 09.01.2023  
DWG No: A5638

DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS



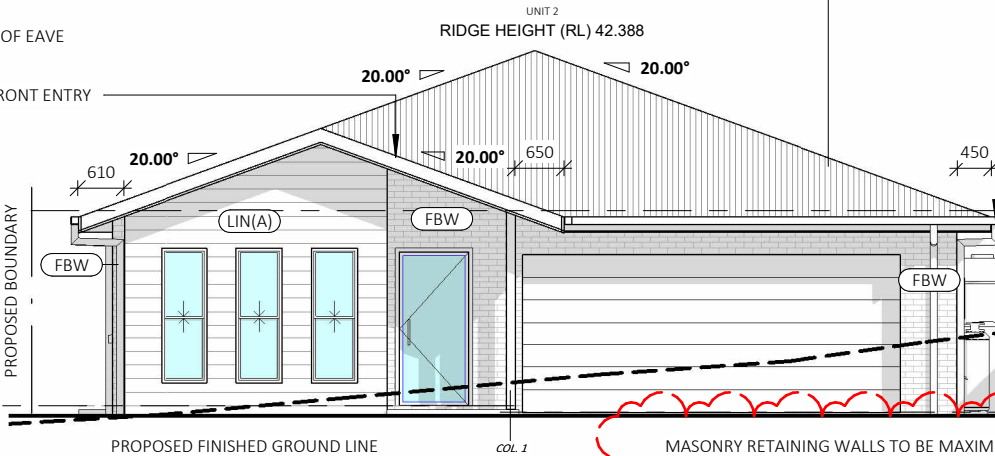
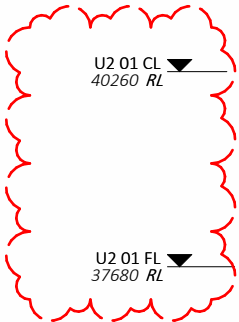
EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
FBW	SELECT FACE BRICKWORK
LIN(A)	SCYON LINEA 150mm WIDE HORIZONTAL CLADDING

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER COLUMNS ARE TO BE CONSTRUCTED FROM BUSHFIRE RESISTING TIMBER SPECIES AS PER AS3959, APPENDIX F

NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE

RAKED SECTION OF ROOF OVER FRONT ENTRY



CORRUGATED METAL SHEET ROOFING (MED)  
COLOUR: MEDIUM (SA - 0.475 - 0.70)  
WITH R1.3 (REFLECTIVE SIDE DOWN, ANTI-GLARE UP)

(CLIP SNAP) CONTINUOUS  
OVERFLOW GUTTER FIXING SYSTEM  
TO COMPLY WITH AS 3500.3

MASONRY RETAINING WALLS TO BE MAXIMUM  
1.3M HIGH TO ENGINEERS DETAIL.  
RETAINING WALL AND FOOTINGS WHOLLY  
INSIDE BOUNDARY

## U2 NORTH ELEVATION

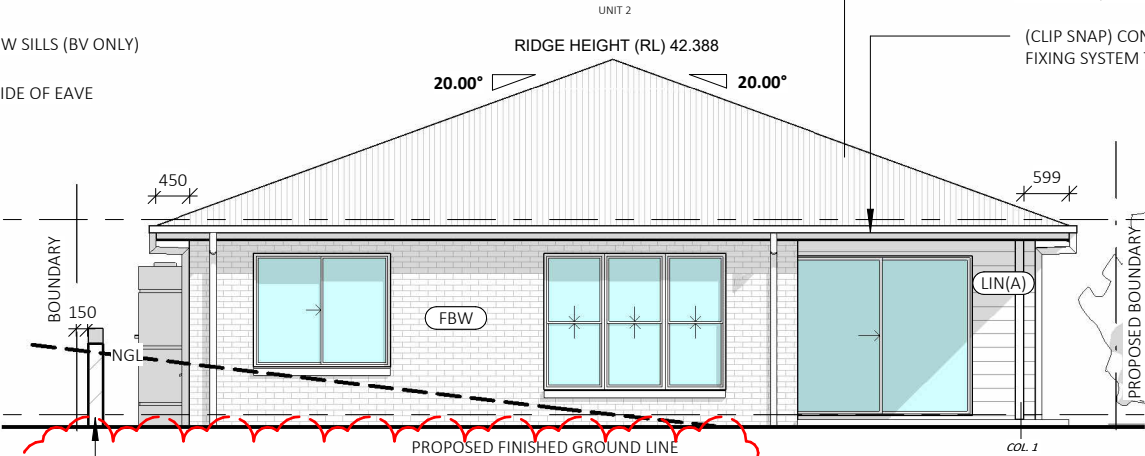
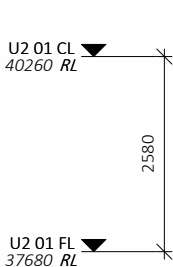
1 : 100

## PROPOSED DUAL OCCUPANCY

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER COLUMNS ARE TO BE CONSTRUCTED FROM BUSHFIRE RESISTING TIMBER SPECIES AS PER AS3959, APPENDIX F

NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE



CORRUGATED METAL SHEET ROOFING (MED)  
COLOUR: MEDIUM (SA - 0.475 - 0.70)  
WITH R1.3 (REFLECTIVE SIDE DOWN, ANTI-GLARE UP)

(CLIP SNAP) CONTINUOUS OVERFLOW GUTTER  
FIXING SYSTEM TO COMPLY WITH AS 3500.3

MASONRY RETAINING WALLS TO BE MAXIMUM 1.3M  
HIGH TO ENGINEERS DETAIL.  
RETAINING WALL AND FOOTINGS WHOLLY  
INSIDE BOUNDARY

## U2 SOUTH ELEVATION

1 : 100

BAL - 12.5

### BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

### BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

### GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)		ELEVATIONS - U2	
STATUS: S4.55 MODIFICATION	SHEET: 8 OF 24	SCALE:	1 : 100
LOT No: 106 DP No: 1291002		SHEET SIZE:	A3
STREET: 7 PEPPER TREE WAY, TAREE		START DATE:	09.01.2023
CLIENT: SAVAGE		DWG No:	A5638

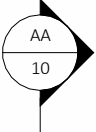
DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

EXTERNAL FINISHES	
LABEL	MATERIAL DESCRIPTION
FBW	SELECT FACE BRICKWORK
LIN(A)	SCYON LINEA 150mm WIDE HORIZONTAL CLADDING

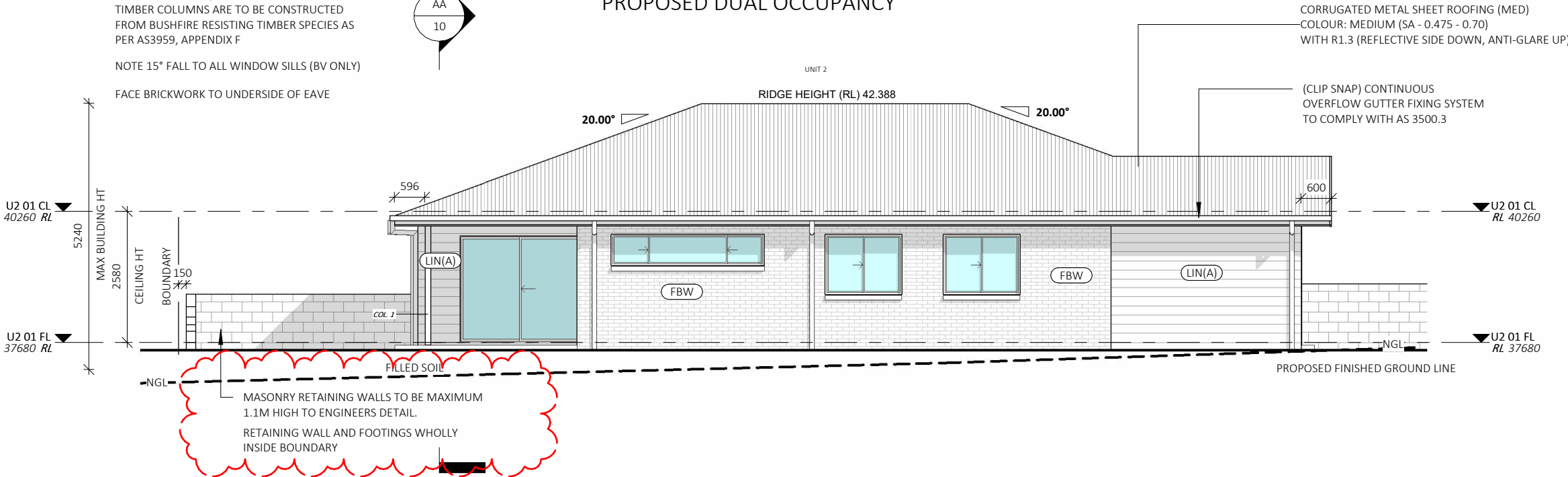
ALL TIMBER DECKS, STAIRS AND EXTERNAL  
TIMBER COLUMNS ARE TO BE CONSTRUCTED  
FROM BUSHFIRE RESISTING TIMBER SPECIES AS  
PER AS3959, APPENDIX F

NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE



PROPOSED DUAL OCCUPANCY



U2 EAST ELEVATION

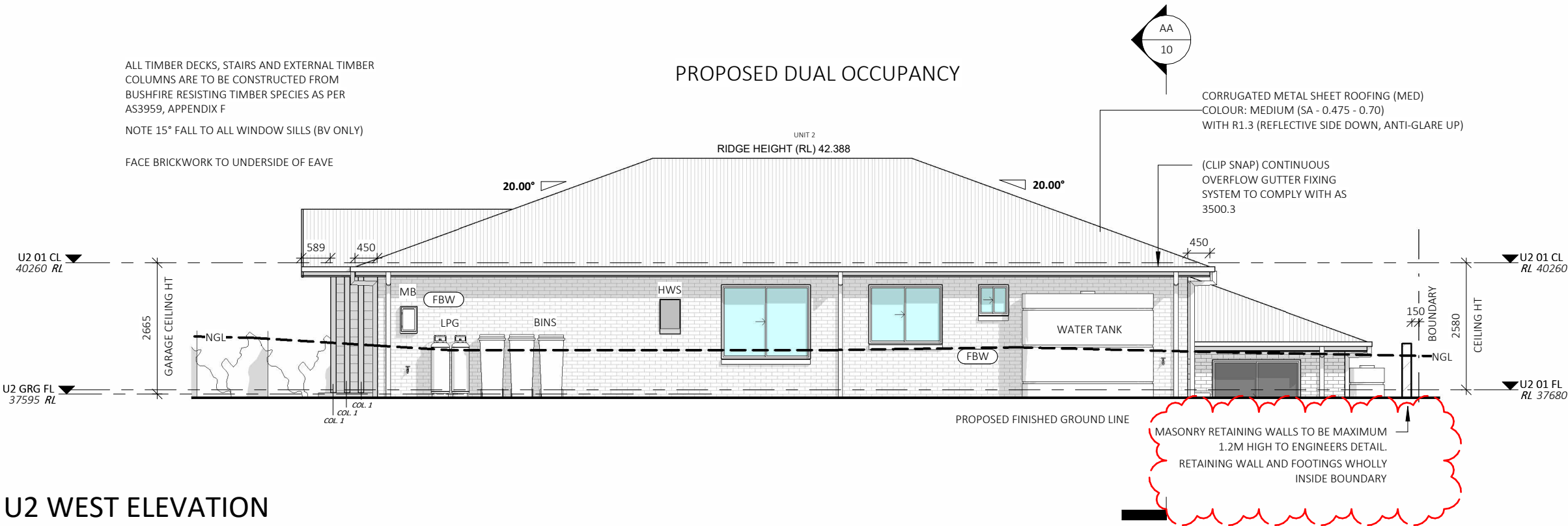
1 : 100

ALL TIMBER DECKS, STAIRS AND EXTERNAL TIMBER  
COLUMNS ARE TO BE CONSTRUCTED FROM  
BUSHFIRE RESISTING TIMBER SPECIES AS PER  
AS3959, APPENDIX F

NOTE 15° FALL TO ALL WINDOW SILLS (BV ONLY)

FACE BRICKWORK TO UNDERSIDE OF EAVE

PROPOSED DUAL OCCUPANCY



U2 WEST ELEVATION

1 : 100

BAL - 12.5

**BUSHFIRE NOTES:**  
PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

**BASIX NOTES:**  
PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

**GENERAL PLAN SET NOTES:**  
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

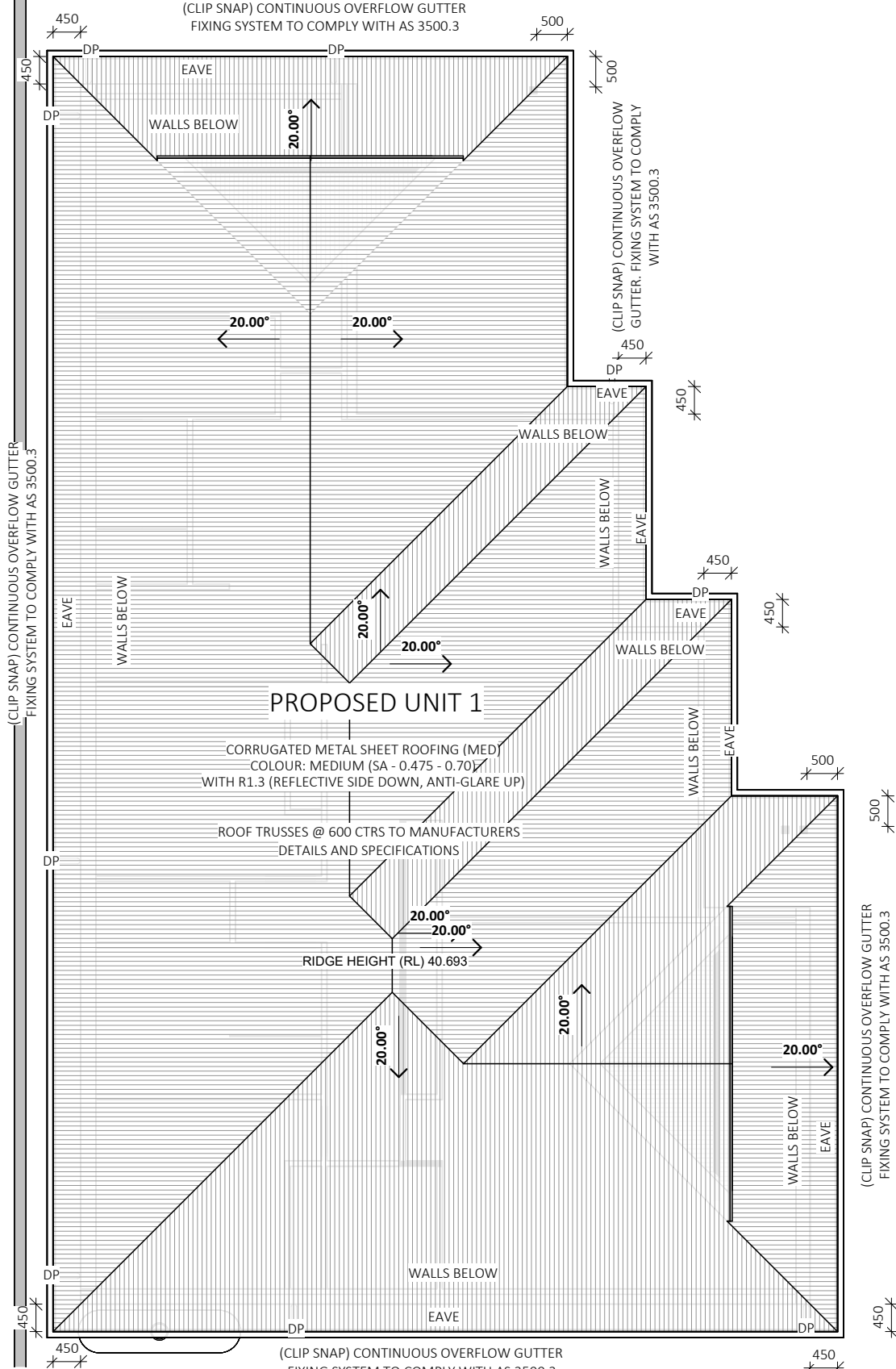
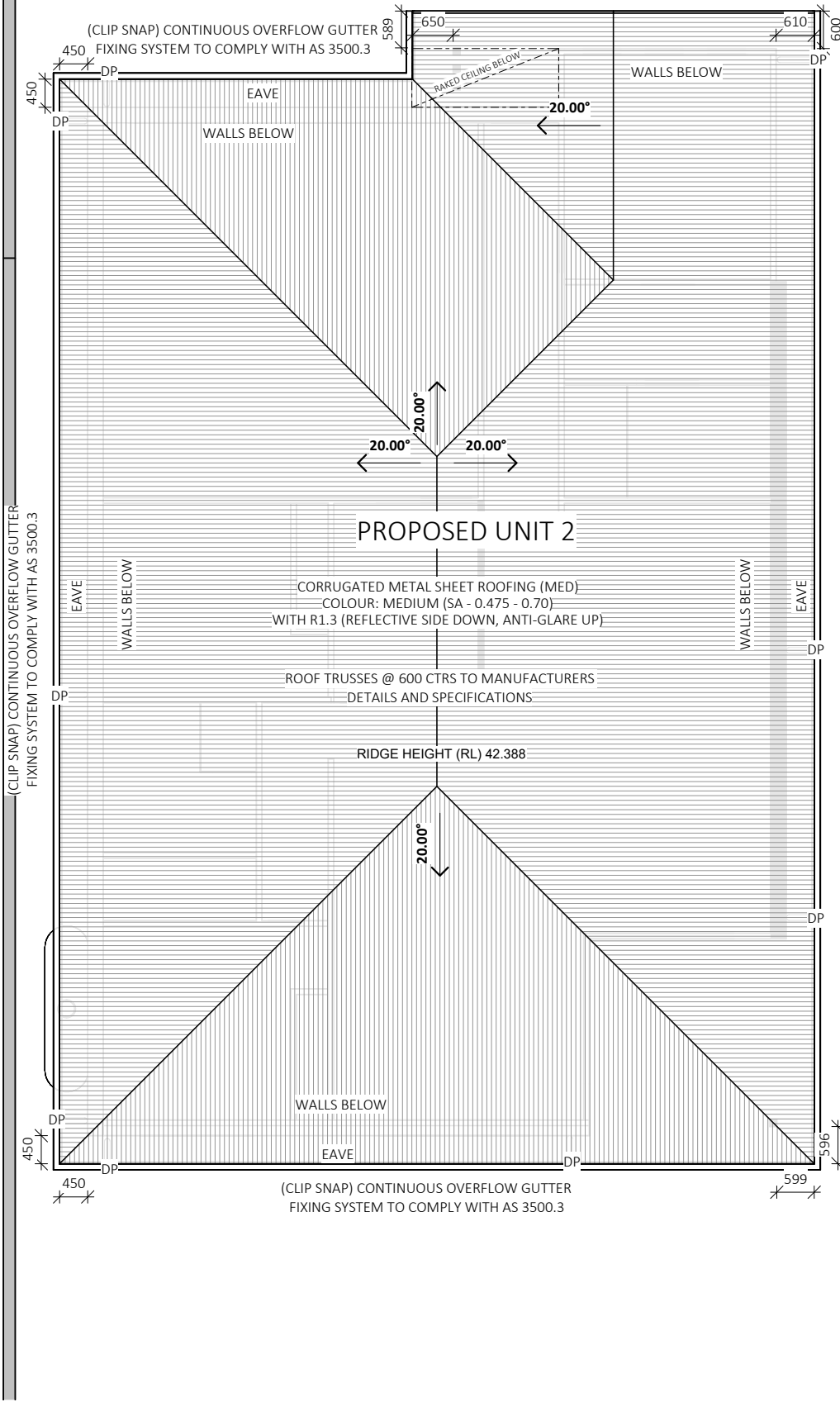
PROJECT: NEW DUAL OCCUPANCY (TORRENS)		SHEET: 9 OF 24
STATUS:S4.55 MODIFICATION		
LOT No: 106	DP No: 1291002	
STREET: 7 PEPPER TREE WAY, TAREE		
CLIENT: SAVAGE		

ELEVATIONS - U2	
SCALE:	1 : 100
SHEET SIZE:	A3
START DATE:	09.01.2023
DWG No:	A5638

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS



AREAS - ROOF AREAS	
NAME	AREA
U1 ROOF	232.3 m²
U2 ROOF	217.1 m²
TOTAL	449.5 m²



BAL - 12.5

**BUSHFIRE NOTES:**  
PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

**BASIX NOTES:**  
PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

**GENERAL PLAN SET NOTES:**  
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)		ROOF PLAN	
STATUS: S4.55 MODIFICATION	SHEET: 11 OF 24	SCALE:	1 : 100
LOT No: 106 DP No: 1291002		SHEET SIZE:	A3
STREET: 7 PEPPER TREE WAY, TAREE		START DATE:	09.01.2023
CLIENT: SAVAGE		DWG No:	A5638

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS



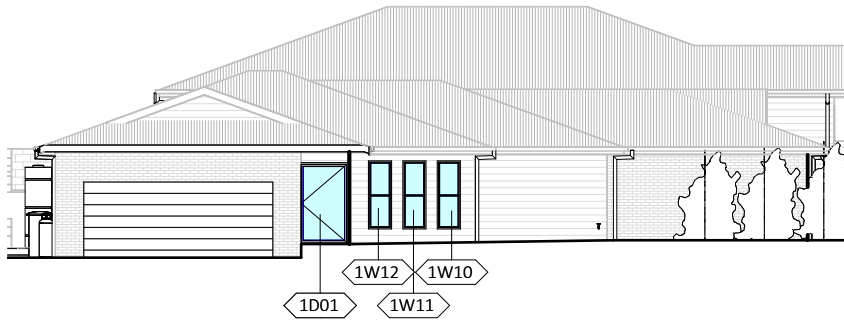
U1 NORTH FACE GLAZING

1 : 200



U1 SOUTH FACE GLAZING

1 : 200



U1 EAST FACE GLAZING

1 : 200



U1 WEST FACE GLAZING

1 : 200

GLAZING SPECIFICATIONS:

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES.  
WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE  
INSTALLED ON SITE

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH  
STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES,  
SPA ROOMS OR THE LIKE TO COMPLY WITH THE NCC, VOL.  
2, H1D8 AND PART 8.4.6 OF ABCB HOUSING PROVISIONS

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A  
BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH,  
BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2,  
H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE  
ABOVE THE SURFACE BENEATH, WINDOWS ARE TO  
COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE  
ABCB HOUSING PROVISIONS.

WINDOWS AND GLAZING TO COMPLY WITH:

AS 4055 : WIND LOADS FOR HOUSING  
AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION  
AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING  
AS 1170-Part 2 : WIND ACTIONS  
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE  
PRONE AREAS

*\*THE STANDARDS REFERRED ABOVE ARE THE VERSION  
ADOPTED BY THE NCC AT THE TIME THE RELEVANT  
CONSTRUCTION CERTIFICATE OR COMPLYING  
DEVELOPMENT CERTIFICATE APPLICATION IS MADE.*

WINDOW GLAZING SCHEDULE U1

NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	HEAD HEIGHT	TYPE	CONSTRUCTION	GLAZING
1W01	U1 01 FL	BED 3	1500	1810	2143	SLIDING	ALUMINIUM	STANDARD
1W02	U1 01 FL	BATH	1200	1510	2143	SLIDING	ALUMINIUM	STANDARD
1W03	U1 01 FL	WC	620	610	2143	SLIDING	ALUMINIUM	STANDARD
1W04	U1 01 FL	BED 2	1500	1810	2143	SLIDING	ALUMINIUM	STANDARD
1W05	U1 01 FL	ENS	1200	1510	2143	SLIDING	ALUMINIUM	STANDARD
1W06	U1 01 FL	WIR	1215	850	2143	SLIDING	ALUMINIUM	STANDARD
1W07	U1 01 FL	MASTER (1)	1500	1810	2143	SLIDING	ALUMINIUM	STANDARD
1W08	U1 01 FL	MASTER (1)	620	2650	2143	SLIDING	ALUMINIUM	STANDARD
1W09	U1 01 FL	MEALS / LIVING	1800	610	2150	DOUBLE HUNG	ALUMINIUM	STANDARD
1W10	U1 01 FL	MEALS / LIVING	1800	610	2150	DOUBLE HUNG	ALUMINIUM	STANDARD
1W11	U1 01 FL	MEALS / LIVING	1800	610	2150	DOUBLE HUNG	ALUMINIUM	STANDARD
1W12	U1 01 FL	MEALS / LIVING	1800	610	2150	DOUBLE HUNG	ALUMINIUM	STANDARD

DOOR GLAZING SCHEDULE U1

NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	HEAD HEIGHT	TYPE	CONSTRUCTION	GLAZING
1D01	U1 01 FL	MEALS / LIVING	2050	1200	2050	HINGED	ALUMINIUM	STANDARD
1D02	U1 01 FL	LDRY	2112	1510	2112	SLIDING DOOR	ALUMINIUM	STANDARD
1D03	U1 01 FL	MEALS / LIVING	2112	2725	2112	SLIDING DOOR 3P	ALUMINIUM	STANDARD

BAL - 12.5

BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD  
(SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN  
ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN  
BUSHFIRE PRONE AREAS

BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON  
PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX  
CERTIFICATE FOR EXACT DETAILS

GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN  
CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS,  
REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE,  
AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be  
reproduced or transmitted in any form or by  
means, electronic, mechanical, photocopying,  
recording or otherwise, without the prior  
permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is  
to check all the dimensions on the job prior to  
commencement of shop drawings or fabrication.  
Discrepancies to be referred to the consultant  
Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)

STATUS: S4.55 MODIFICATION  
LOT No: 106 DP No: 1291002  
STREET: 7 PEPPER TREE WAY, TAREE

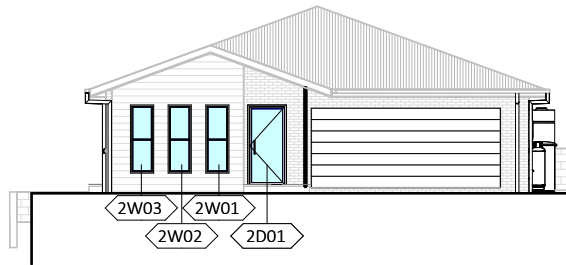
CLIENT: SAVAGE

GLAZING - U1

SCALE: As indicated  
SHEET SIZE: A3  
START DATE: 09.01.2023  
DWG No: A5638

DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS



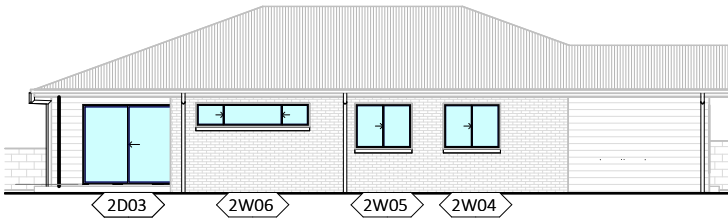
U2 NORTH FACE GLAZING

1 : 200



U2 SOUTH FACE GLAZING

1 : 200



U2 EAST FACE GLAZING

1 : 200



U2 WEST FACE GLAZING

1 : 200

**GLAZING SPECIFICATIONS:**

WINDOWS SPECIFIED USE NFRC UW & SHGCW VALUES. WINDOWS AS SPECIFIED OR EQUIVALENT MUST BE INSTALLED ON SITE

STANDARD GLAZING: SINGLE CLEAR GLAZING WITH STANDARD ALUMINIUM FRAMES THROUGHOUT

WEATHER STRIPPING TO BE INSTALLED THROUGHOUT.

PLEASE NOTE: ALL GLAZING IN BATHROOMS, ENSUITES, SPA ROOMS OR THE LIKE TO COMPLY WITH THE NCC, VOL. 2, H1D8 AND PART 8.4.6 OF ABCB HOUSING PROVISIONS

BEDROOM WINDOWS - WHERE THE FLOOR LEVEL OF A BEDROOM IS 2M OR MORE ABOVE THE SURFACE BENEATH, BEDROOM WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.7 OF THE ABCB HOUSING PROVISIONS

WINDOWS - WHERE THE FLOOR LEVEL IS 4m OR MORE ABOVE THE SURFACE BENEATH, WINDOWS ARE TO COMPLY WITH NCC, VOL. 2, H5P2 AND PART 11.3.8 OF THE ABCB HOUSING PROVISIONS.

**WINDOWS AND GLAZING TO COMPLY WITH:**

AS 4055 : WIND LOADS FOR HOUSING  
AS 1288 : GLASS IN BUILDING - SELECTION & INSTALLATION  
AS 2047 : WINDOWS & EXTERNAL DOORS IN BUILDING  
AS 1170-Part 2 : WIND ACTIONS  
AS 3959 : CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

*\*THE STANDARDS REFERRED ABOVE ARE THE VERSION ADOPTED BY THE NCC AT THE TIME THE RELEVANT CONSTRUCTION CERTIFICATE OR COMPLYING DEVELOPMENT CERTIFICATE APPLICATION IS MADE.*

WINDOW GLAZING SCHEDULE U2								
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	HEAD HEIGHT	TYPE	CONSTRUCTION	GLAZING
2W01	U2 01 FL	MASTER (1)	1800	610	2100	DOUBLE HUNG	ALUMINIUM	STANDARD
2W02	U2 01 FL	MASTER (1)	1800	610	2100	DOUBLE HUNG	ALUMINIUM	STANDARD
2W03	U2 01 FL	MASTER (1)	1800	610	2100	DOUBLE HUNG	ALUMINIUM	STANDARD
2W04	U2 01 FL	ENS	1200	1510	2143	SLIDING	ALUMINIUM	STANDARD
2W05	U2 01 FL	KITCHEN	1200	1510	2143	SLIDING	ALUMINIUM	STANDARD
2W06	U2 01 FL	MEALS / LIVING	620	3010	2150	SLIDING	ALUMINIUM	STANDARD
2W07	U2 01 FL	MEALS / LIVING	1800	2400	2143	DOUBLE HUNG/DOUBLE HUNG/DOUBLE HUNG	ALUMINIUM	STANDARD
2W08	U2 01 FL	BED 3	1500	1810	2143	SLIDING	ALUMINIUM	STANDARD
2W09	U2 01 FL	WC	620	610	2143	SLIDING	ALUMINIUM	STANDARD
2W10	U2 01 FL	BATH	1200	1510	2143	SLIDING	ALUMINIUM	STANDARD
2W11	U2 01 FL	BED 2	1500	1810	2143	SLIDING	ALUMINIUM	STANDARD

DOOR GLAZING SCHEDULE U2								
NUMBER	LEVEL	ROOM	HEIGHT	WIDTH	HEAD HEIGHT	TYPE	CONSTRUCTION	GLAZING
2D01	U2 01 FL	KITCHEN	2050	920	2050	HINGED	ALUMINIUM	STANDARD
2D02	U2 01 FL		2112	2410	2112	SLIDING DOOR	ALUMINIUM	STANDARD
2D03	U2 01 FL	MEALS / LIVING	2112	2410	2112	SLIDING DOOR	ALUMINIUM	STANDARD

BAL - 12.5

**BUSHFIRE NOTES:**

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

**BASIX NOTES:**

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

**GENERAL PLAN SET NOTES:**

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS









Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)		GLAZING - U2	
STATUS: S4.55 MODIFICATION	SHEET: 13 OF 24	SCALE:	As indicated
LOT No: 106 DP No: 1291002		SHEET SIZE:	A3
STREET: 7 PEPPER TREE WAY, TAREE		START DATE:	09.01.2023
CLIENT: SAVAGE		DWG No:	A5638

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

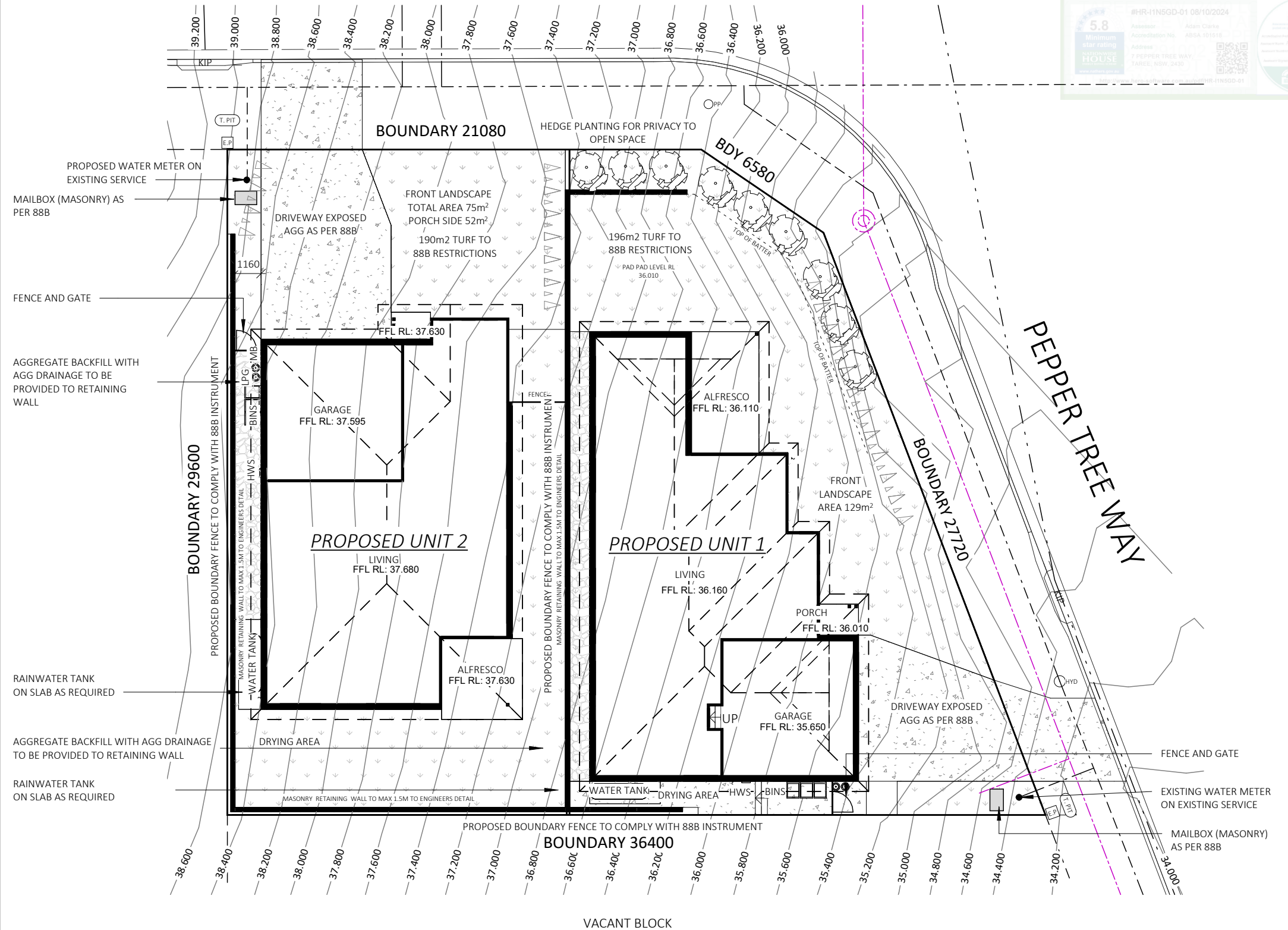


## LEGEND AND NOTES

-  NEW WARM SEASON TURF GRASS  
THROUGHOUT AS PER 88B
-  UNSEALED SURFACE - GRAVEL  
FINISH (NOT HARDSTAND AREA)
-  HARD SURFACE - DRIVEWAY/ PATHWAYS  
REFER BUILDING DESIGN FOR DETAILS
-  HARD SURFACE - PATIOS  
REFER BUILDING DESIGN FOR DETAILS
-  EXISTING NEIGHBOURING VEGETATION TO BE  
PRESERVED AND PROTECTED THROUGHOUT
-  SMALL EVERGREEN NATIVE TREES
-  FEATURE OR STATEMENT PLANTINGS
-  NEW SMALL / MEDIUM EVERGREEN SHRUBS
-  NEW SMALL / MEDIUM EVERGREEN SOFT WOODED  
PERENNIALS
-  NEW EVERGREEN PROSTRATE SHRUBS OR GROUND  
COVER PLANTINGS

- THIS PLAN IS NOT BE USED FOR CONSTRUCTION
- THIS PLAN IS CONCEPTUAL ONLY AND IS DESIGNED TO HIGHLIGHT VARIOUS LANDSCAPE USES AROUND THE SITE,
- ANY SUGGESTED PLANTS OR PLANT LIST IS INDICATIVE ONLY AND THE FINAL SELECTION OF ACTUAL SPECIES WILL BE SITE AND MICRO CLIMATE DEPENDENT,
- ALL HARD-SCAPED SURFACES SHALL BE INSTALLED BY QUALIFIED LANDSCAPE TRADES AND AS PER MANUFACTURERS INSTRUCTIONS,
- TURF SPECIES SHALL CONSISTS OF A WARM SEASON SPECIES ONLY SUCH AS; BUFFALO, KIKUYU OR COUCH,
- THE ADVICE AND PLAN FROM A PROFESSIONAL LANDSCAPE DESIGNER IS TO BE SOUGHT PRIOR TO ANY CONSTRUCTION / LANDSCAPE WORKS COMMENCING,
- LANDSCAPE HAS A DOMINANT NORTHERN ASPECT AND SELECTED PLANTS ARE TO BE SUN TO FULL SUN TOLERANT CAPABLE OF WITHSTANDING YEAR ROUND NORTHERN SUN,
- PLANTS ON THE IMMEDIATE SOUTHERN SIDE OF BUILDINGS AND DWELLING MAY NEED SOME SHADE TOLERANCE,
- PLANTINGS ARE TO BE WATER WISE AND DROUGHT TOLERANT ONCE ESTABLISHED

## KING VALLEY DRIVE



## BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

## BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

## GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

BAL - 12.5



## INDICATIVE LANDSCAPE PLAN

1 : 200

**collinswcollins** PTY LTD  
Building Designers

Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)

STATUS: S4.55 MODIFICATION

LOT No: 106 DP No: 1291002

STREET: 7 PEPPER TREE WAY, TAREE

CLIENT: SAVAGE

SHEET: 15 OF 24

INDICATIVE LANDSCAPE  
PLAN

SCALE: 1 : 200

SHEET SIZE: A3

START DATE: 09.01.2023

DWG No: A5638

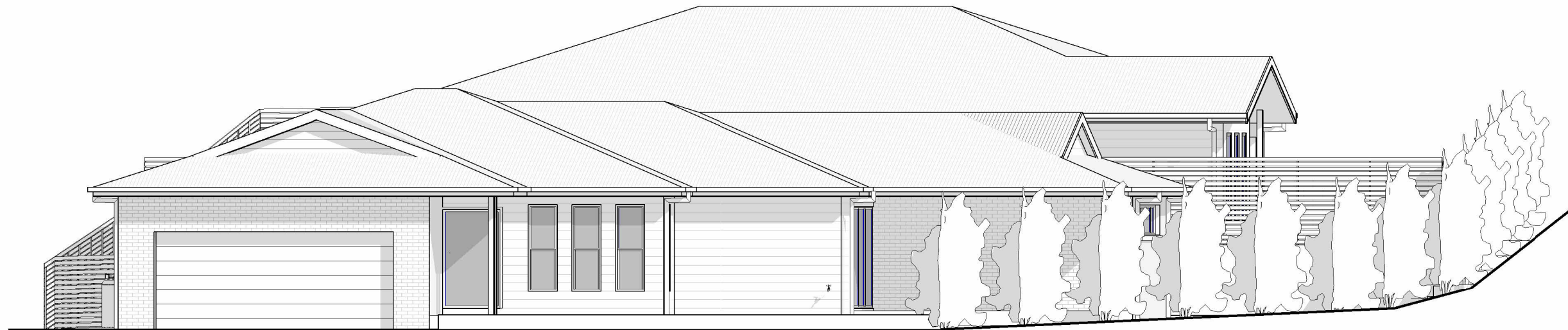
## DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

89A Lord Street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

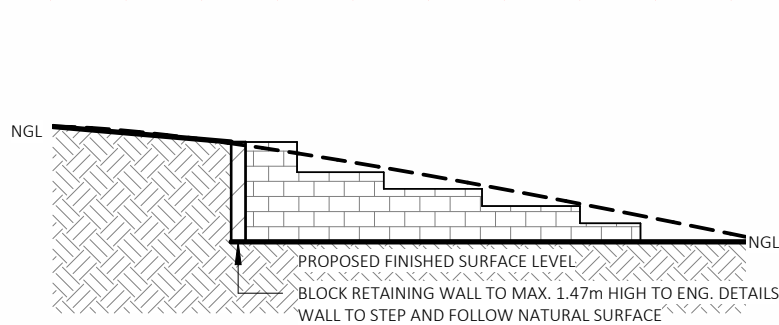
T: 02 6583 4411

WWW. COLLINSWCOLLINS.COM.AU



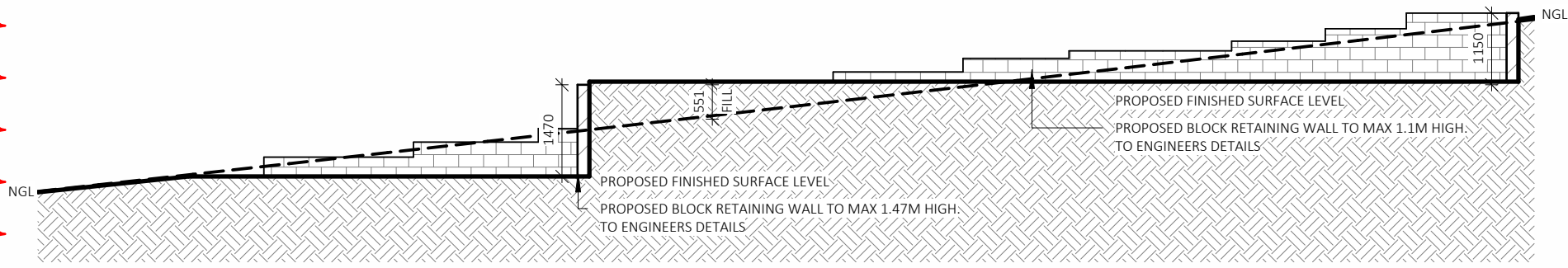
# SCREENING ELEVATION

1 : 100



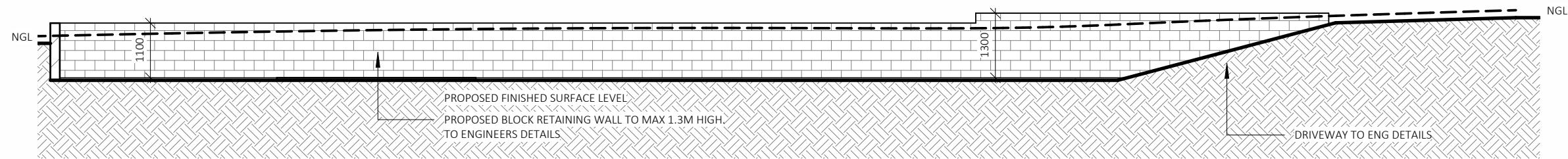
## SECTION B-B

1 : 100



## SECTION D-D

1 : 100



## SECTION C-C

1 : 100

BAL - 12.5

### BUSHFIRE NOTES:

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

### BASIX NOTES:

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

### GENERAL PLAN SET NOTES:

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)

STATUS: S4.55 MODIFICATION

LOT No: 106 DP No: 1291002

STREET: 7 PEPPER TREE WAY, TAREE

CLIENT: SAVAGE

SHEET: 16 OF 24

RETAINING + SCREENING

SCALE:

1 : 100

SHEET SIZE:

A3

START DATE:

09.01.2023

DWG No:

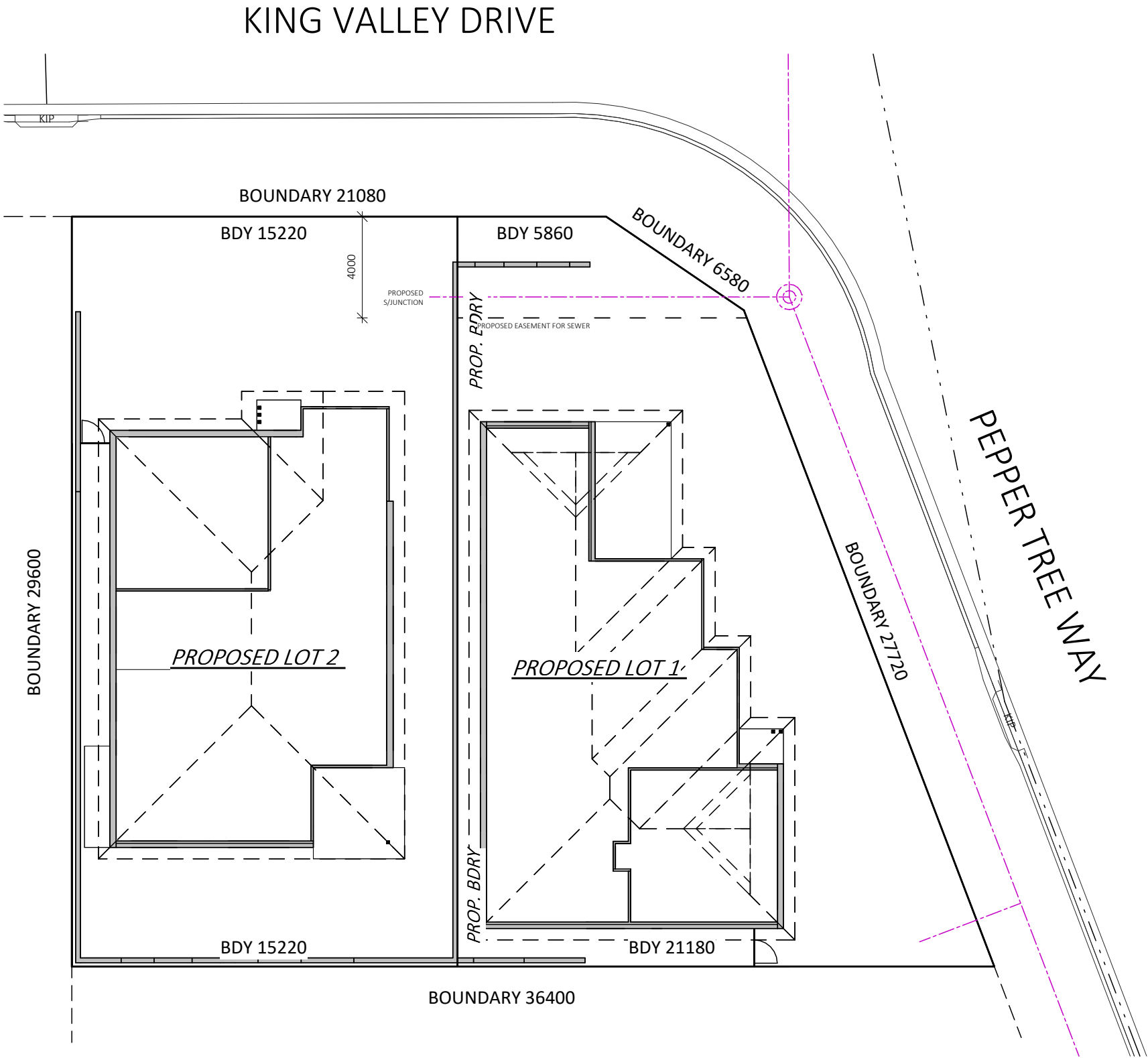
A5638

DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

EXISTING LOT SCHEDULE	
NAME	AREA
EXISTING LOT 106	902.89 m <sup>2</sup>
TOTAL: 1	902.89 m <sup>2</sup>

PROPOSED LOT SCHEDULE	
NAME	AREA
PROPOSED LOT 2	450.51 m <sup>2</sup>
PROPOSED LOT 1	452.38 m <sup>2</sup>
TOTAL: 2	902.89 m <sup>2</sup>



#HR-11N5GD-01 08/10/2024

5.8 Minimum star rating

Assessor: Adam Clarke

Accreditation No: ABSA 101518

Address: 7 PEPPER TREE WAY, TAREE, NSW, 2430

http://www.hero-software.com.au/pdf/HR-11N5GD-01

ABSA  
Australian Building Standards Association  
Accreditation No: 030502024-03090205  
Assessor Name: Adam Clarke  
Assessor Number: 101518

BAL - 12.5

**BUSHFIRE NOTES:**  
PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

**BASIX NOTES:**  
PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

**GENERAL PLAN SET NOTES:**  
CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS

collinswcollins  
Building Designers

Note: Copyright © 2023: Collins w. Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
DO NOT SCALE from this drawing. CONTRACTOR is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT: NEW DUAL OCCUPANCY (TORRENS)		DRAFT SUB-DIVISION PLAN	
STATUS: S4.55 MODIFICATION	SHEET: 17 OF 24	SCALE:	1 : 200
LOT No: 106 DP No: 1291002		SHEET SIZE:	A3
STREET: 7 PEPPER TREE WAY, TAREE		START DATE:	09.01.2023
CLIENT: SAVAGE		DWG No:	A5638

DRAWING REVISION + NOTES			
Date:	Revision:	Issue:	Drawn:
30.06.23	DRAFT DA	A	KS
27.07.23	ENERGY FINALISED	C	KS
17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
09.10.23	DA RFI	E	AE
30.09.24	DA MOD	F	MS

89A Lord Street (PO Box 5667), Port Macquarie NSW 2444 | Shop 17 Centrepont Arcade, Taree NSW 2430

T: 02 6583 4411

WWW. COLLINSWCOLLINS.COM.AU



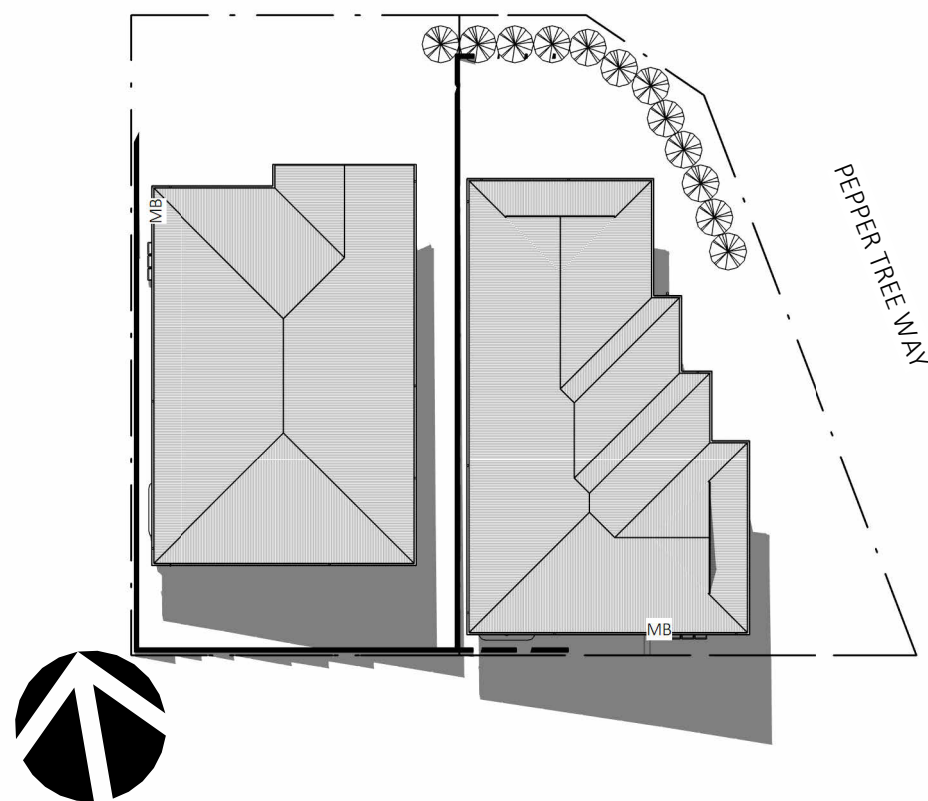
KING VALLEY DRIVE



## 9AM WINTER SOLSTICE SHADOW

*1 : 350*

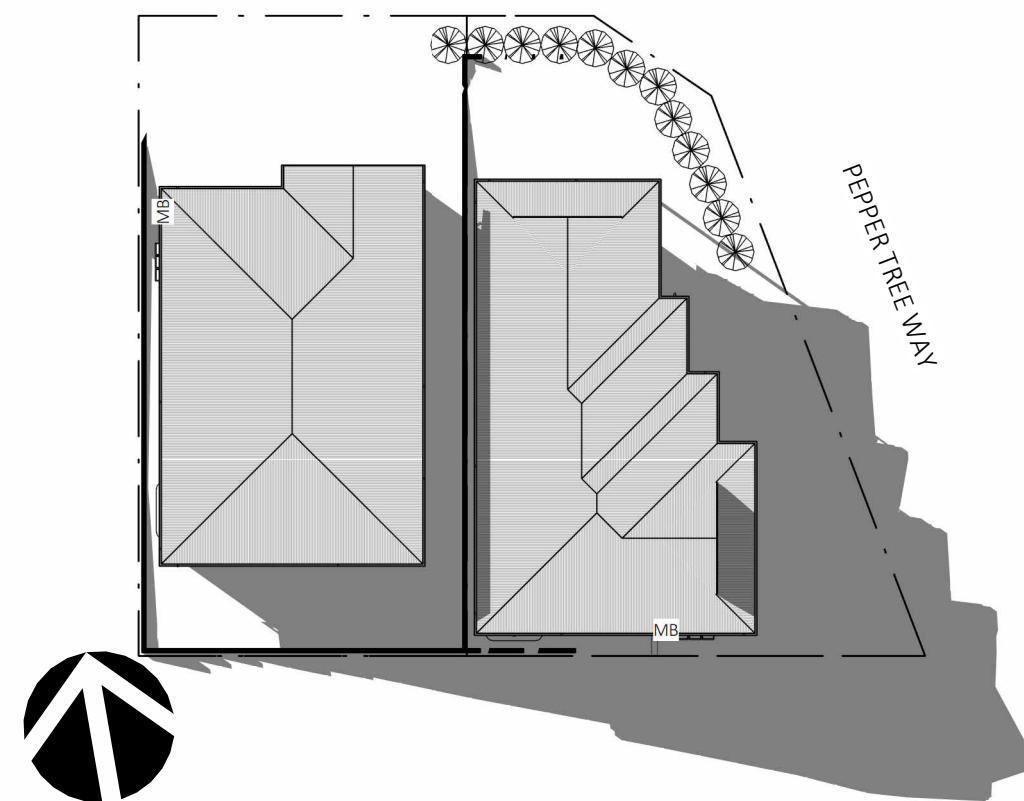
KING VALLEY DRIVE



## 12PM WINTER SOLSTICE SHADOW

1 : 350

KING VALLEY DRIVE



### 3PM WINTER SOLSTICE SHADOW

1 : 350

## DA ISSUE ONLY

**BUSHFIRE NOTES:**

**BAL - 12.5**

PLEASE REFER TO BUSHFIRE REPORT BY FIREBIRD ECOSULTANTS PTY LTD (SARAH JONES) DATED 12 JULY 2023 AND CONSTRUCTED IN ACCORDANCE WITH AS 3959-2018: CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

**BASIX NOTES:**

PLEASE REFER TO THE "SUMMARY OF BASIX COMMITMENTS" ON PAGE 18 FOR FURTHER INFORMATION. PLEASE REFER TO THE BASIX CERTIFICATE FOR EXACT DETAILS

**GENERAL PLAN SET NOTES:**

CHECK ALL DIMENSIONS ON SITE. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL RELEVANT CONTRACTS, SPECIFICATIONS, REPORTS, DRAWINGS, LEGENDS, NATIONAL CONSTRUCTION CODE, AUS & NZ STANDARDS, ENGINEERING & COUNCIL APPROVALS



Note: Copyright © 2023: Collins.w.Collins PTY LTD  
All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by means, electronic, mechanical, photocopying, recording or otherwise, without the prior permission of the copyright holders.  
**DO NOT SCALE** from this drawing. **CONTRACTOR** is to check all the dimensions on the job prior to commencement of shop drawings or fabrication. Discrepancies to be referred to the consultant Designer prior to commencement of work.

PROJECT:	NEW DUAL OCCUPANCY (TORRENS)
----------	------------------------------

STATUS:S4.55 MODIFICATION

LOT No: 106      DP No: 1291002

STREET: 7 PEPPER TREE WAY, TAREE

CLIENT: SAVAGE

SHADOWS

SCALE:

SCALE:

---

SHEET:

SHEET SIZE:	A3

DWG No:	
---------	--

---

	1.350
--	-------

1.350
12

A3	
----	--

	A5638
--	-------

DRAWING REVISION + NOTES

Date:	Revision:	Issue:	Drawn:
-------	-----------	--------	--------

30.06.23	DRAFT DA	A	KS
----------	----------	---	----

27.07.23	ENERGY FINALISED	C	KS
----------	------------------	---	----

17.08.23	ADD SHADOWS/UPDATE FENCE NOTE	D	MH
----------	-------------------------------	---	----

09.10.23	DA RFI	E	AE
30.09.24	DA MOD	E	MS

30.09.24	DA MOD	F	MS
----------	--------	---	----